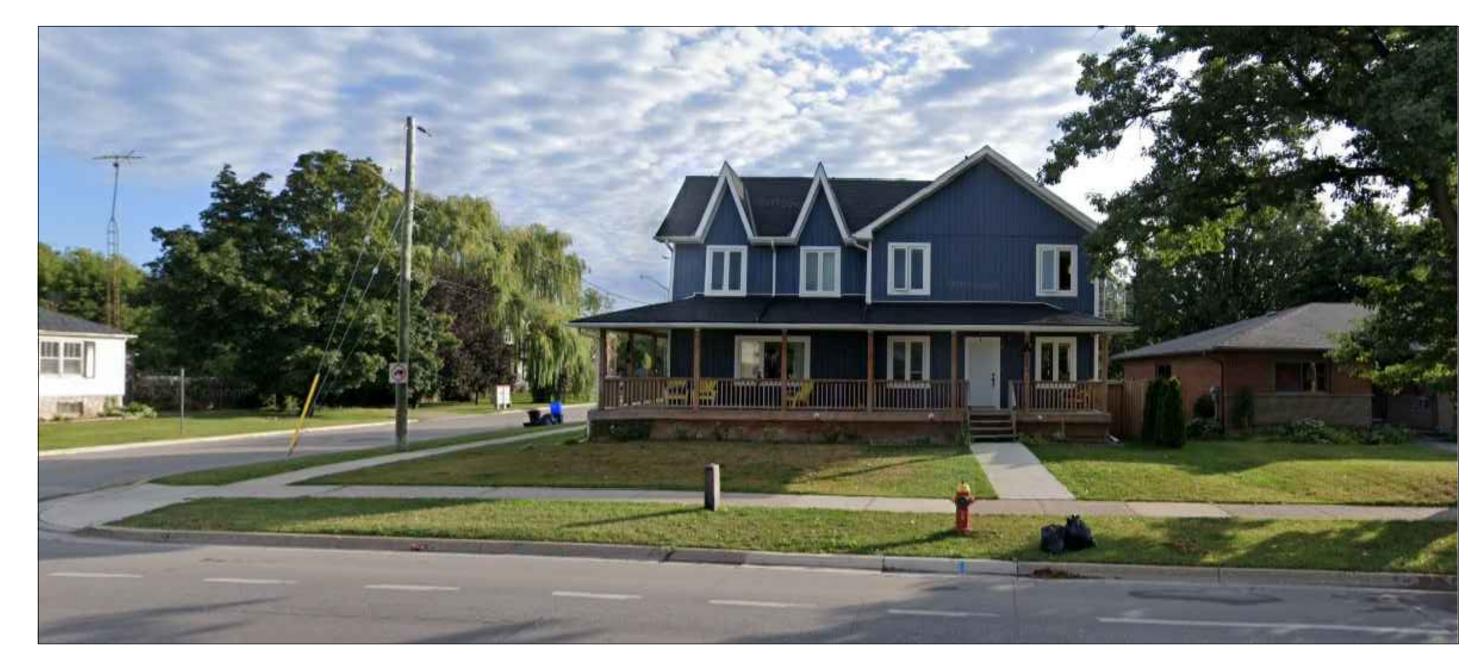
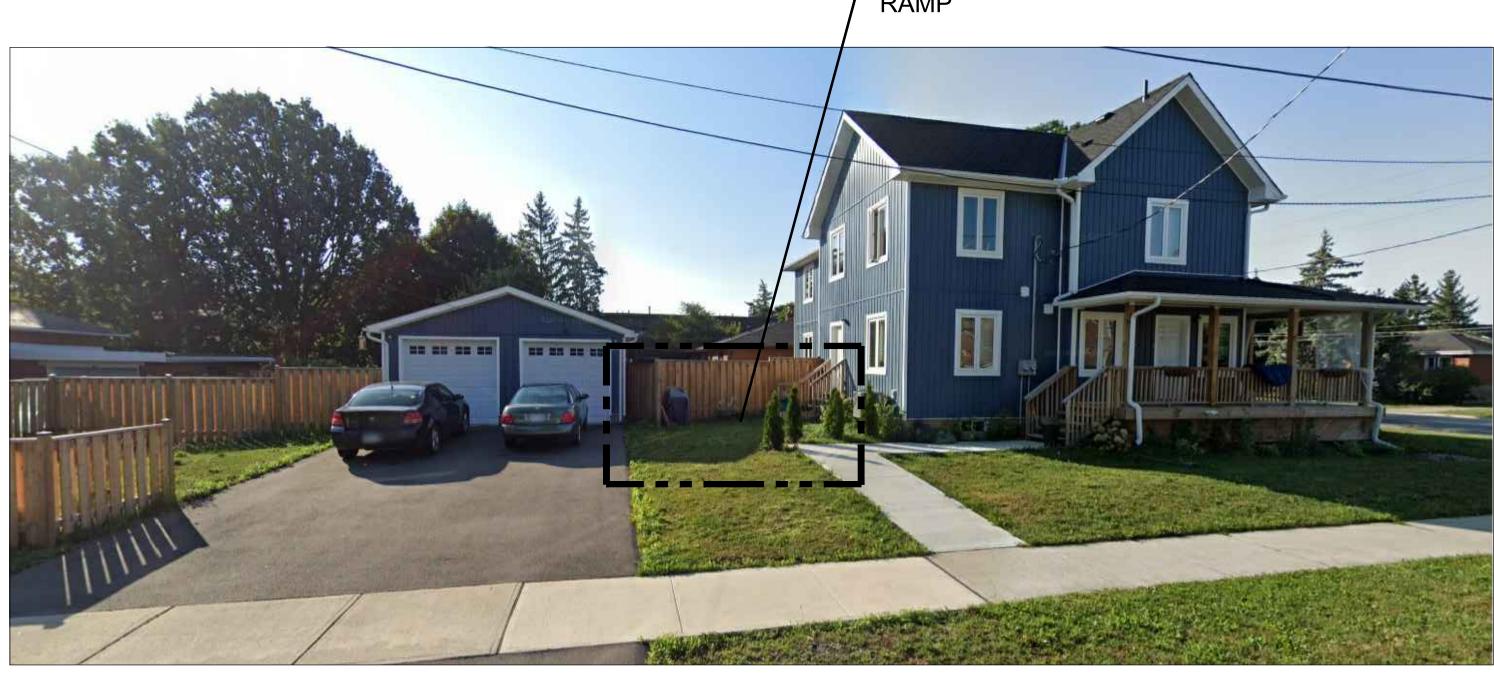
INTERIOR RENOVATIONS AND RAMP ADDITION 8 BARTON STREET MILTON, ONTARIO L9T 1C6

HABITAT FOR HUMANITY HALTON-MISSISSAUGA

JULY 2020







LOCATION OF PROPOSED

SIDE VIEW

NOTE: NO OTHER EXTERIOR CHANGES PROPOSED



BRAD BRUDER
MANAGER OF PLANNING
AND DEVELOPMENT

1800 APPLEBY LINE, UNIT 10 BURLINGTON, ON L7L 6A1 (289) 400-5228 BBRUDER@HABITATHM.CA



CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED)

(4) INTERIOR STUD PARTITION (2" X 4") (IN COMPLIANCE WITH O.B.C. SECTION 9.23.10)

> -2" X 4" (38 X 89MM) WOOD STUDS @ 16" (400MM) O.C. -WITH DOUBLE 2" X 4" (38 X 89MM) TOP PLATES AND SINGLE BOTTOM PLATE. -AND 1/2" (12.7M) INTERIOR GYPSUM BOARD ON BOTH SIDES (NOTE: O.B.C.ARTICLE 9.23.11.3. SINGLE TOP PLATE FOR NON-LOAD BEARING WALL).

(12) STAIRS HANDRAILS AND GUARDS: (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.8.)

> -ALL DIMENSION ARE TO CONFORM WITH O.B.C. SUBSECTION 9.8.2.

STAIRS / HEADROOM / LANDING / RAILING

RISE RUN 14" (355MM) 9 1/4" (235MM) TREAD 1" (25MM) NOSING HEARROOM (INTERIOR) 6' - 5" (1950MM) HEADROOM (EXTERIOR) 6' - 9" (2050MM) 2' - 11" (900MM) LANDING HANDRAILS @ LANDING 2' - 11" (900MM) HANDRAILS @ STAIRS MIN 2' - 7" (800MM) AND MAX 3' - 2" (965MM).WIDTH OF STAIRS (INTERIOR) 2' - 10" (860MM) (BETWEEN

WALL FACE). WIDTH OF STAIRS (EXTERIOR) 2' - 11" (900MM) (BETWEEN GUARDS).

(O.B.C. ARTICLE 9.8.4.4.)

-MIN RUN 5 7/8" (150MM).-MIN. AVG. RUN 7 7/8" (200MM).

(O.B.C. ARTICLE 9.8.4.5.)

-WINDER TURN TO MORE THAN 90°. -INDIVIDUAL TREADS TURN THROUGH AN ANGLE OF NOT LESS THAN 30°AND NOT MORE THAN 45°. -MORE THAN ONE SET WINDERS IN A SINGLE STAIRWAY WINDERS SHALL BE SEPARATED IN PLAN BY MIN. 4' - 0" (1200MM) (0.B.C. SENTENCE 9.8.4.5.(2).

12AI HANDRAILS

(IN COMPLIANCE WITH O.B.C. SUBSECTION 9.8.7.) -MIN. ONE HANDRAIL SHALL BE PROVIDED WITH STAIRS HAVING LESS THAN 3' - 7" (1100MM) IN WIDTH. -TWO HANDRAIL SHALL BE PROVIDED WITH STAIRS GREATER THAN 3' - 7" (1100MM). -PICKETS - MAX 4" (100MM) O.C. BETWEEN PICKETS.

(IN COMPLIANCE WITH O.B.C. SUBSECTION 9.8.8.) -INTERIOR GUARDS HEIGHT MIN. 2' - 11" (900MM). -EXTERIOR GUARDS HEIGHT MIN. 2' - 11" (900MM) WITH A GRADE DIFFERENCE OF NOT LESS THAN 6' - 0" (1800MM).

-AND GUARDS HEIGHT MIN. OF 3' - 6" (1070MM) WITH A GRADE DIFFERENCE OF MORE THAN 6' - 0" (1800MM). -OPENING IN GUARDS. MAX DIAMETER OF 4" (100MM) OPENING.

GUARD DESIGN TO PREVENT CLIMBING

(IN COMPLIANCE WITH O.B.C. SENTENCE 9.8.8.6. (2) -GUARDS SHALL BE DESIGNED SO THAT NO MEMBER, ATTACHMENT OR OPENING WILL FACILITATE CLIMBING -GARDS SHALL BE DEEMED TO BE IN COMPLIANCE WHEN THE FOLLOWING CRITERIA HAS BEEN MET; a) ELEMENTS PROTRUDING FROM THE VERTICAL MEMBER WITHIN 140 mm AND 900 mm ABOVE FLOOR OR WALKING SURFACE. b) LOCATED MORE THAN 450 mm HORIZONTALLY AND VERTICALLY FROM EACH OTHER. c) 15 mm HORIZONTAL OFFSET MAXIMUM. d) NO TOE-SPACE MORE THAN 45 mm

HORIZONTALLY AND 20 mm VERTICALLY.

BARRIER FREE

(IN COMPLIANCE WITH O.B.C. SUBSECTION 9.5.2, SENTENCE 9.5.2.3. (1) (A) (B), SENTENCE CLAUSE 3.8.3.8.(1)(d) AND CLAUSE 3.8.3.13. (1)(f)

e) MORE THAN 1-IN-2 SLOPE ON THE OFFSET.

APPENDIX A A-9.5.2.3.(1)-PROVISION FOR FUTURE ATTACHMENT OF GRAB BAR IN A MAIN BATHROOM. -REINFORCEMENT OF BLOCKING IN STUD WALL SHALL BE INSTALLED TO RESIST A LOAD OF AT LEAST 1.3 KN APPLIED VERTICALLY OR HORIZONTALLY (REFER TO DETAILS).

(29) WOOD COLUMNS

(IN COMPLIANCE WITH O.B.C. SUBSECTION 9.17.4.) -4" X 4" (89 X 89MM) OR 6" X 6" (140 X 140MM) WOOD COLUMNS OR BUILT-UP WOOD COLUMN ON METAL BASE SHOE ANCHORED TO FOOTING. -WOOD COLUMNS SHALL BE EITHER SOLID, GLUE-LAMINATED OR BUILT-UP. -4" X 4" (89 X 89MM) OR 6" X 6" (140 X 140MM) ON METAL BASE SHOE ANCHORED TO FOOTING. -WOOD COLUMN SHALL BE SEPARATED IN CONTACT FROM CONCRETE WITH 6 MIL. (0.05MM) POLYETHYLENE FILM.

PROTECTION OF WOOD FRAMING

-WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED AND IN CONTACT WITH CONCRETE THAT ARE LESS THAN 6" (150MM) ABOVE GROUND OR SLAB. -SHALL BE PRÔTECTEĎ WITH 6 MIL. POLYETHYLENE FILM OR 45 LB. (NO.50) ROLL ROOFING DAMPROOFING BETWEEN WOOD AND CONCRETE.

7 7/8" (200MM) 4 7/8" (125MM) 4 1/4" (210MM) EXPOSED BUILDING FACE (IN COMPLIANCE WITH 0.B.C. SUBSECTION 9.10.15.5(2)) -EXPOSED BUILDING FACE WITH LIMITING DISTANCE OF LESS THAN 3' - 11" (1200MM) -WITH MIN. FIRE RESISTANCE RATING OF NOT LESS THAN 45min. (REFER TO DETAILS)

(51) EGRESS FROM DWELLING UNITS

(IN COMPLIANCE WITH O.B.C.SENTENCE 9.9.9.1.(2)) -THE TRAVEL LIMIT FROM FLOOR LEVEL TO EXIT IS PERMITTED TO EXCEED 1 STOREY WHERE THE FLOOR LEVEL SERVED BY BALCONY OPERABLE WINDOW AND

-PROVIDE A MIN. UNOBSTRUCTED OPENING 3' - 3" H X 21 5/8" W (1000 X 550MM) AND LOCATED THAT THE SILL IS NOT MORE THAN 3' - 3" (1000MM) ABOVE THE FLOOR LEVEL. -AND 23' - 0" (7.0M) ABOVE ADJACENT GROUND LEVEL.

BATHROOM OR WATER CLOSET ROOM (IN COMPLIANCE WITH O.B.C. SECTION 9.32. AND PART 6)

-MECHANICALLY VENTED TO PROVIDE MIN. 2 AIR CHANGES PER HOUR. -SHALL BE CONSTRUCTED TO PROVIDE PROTECTION FROM WEATHER AND INSECTS. -SCREENING SHALL BE OF RUST PROOF MATERIAL.

(54) SMOKE ALARM & CARBON MONOXIDE DETECTOR

> SMOKE ALARM (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.10.19.)

-PROVIDE ONE PER FLOOR NEAR THE STAIRS WITH MAX 16' - 5" (5.0M) FROM BEDROOMS + IN ALL BEDROOMS -AND THE DISTANCE FROM ANY POINT ON A FLOOR LEVEL DOES NOT EXCEED 49' - 2" (15M) -ALL ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL CAUSE ALL ALARMS WILL SOUND. -BASEMENT/CRAWL SPACE THAT IS 2' - 11" (900MM) OR MORE ABOVE OR BELOW AN ADJACENT FLOOR LEVEL AT LEAST ONE SMOKE ALARM IS REQUIRED.

MONOXIDE DETECTOR (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.33.4.)

-REQUIREMENTS TO BE CHECKED AND INSTALLED WITH LOCAL BY-LAW. -CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNITS ADJACENT TO EACH SLEEPING AREA. -ALL DETECTORS SHALL BE PERMANENTLY WIRED WITH OUT DISCONNECT SWITCH AND ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

(57) WINDOWS

(IN COMPLIANCE WITH O.B.C. SECTION 9.9.10.1 AND SENTENCE 12.3.1.3.(1))

-MIN. ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 3.8 SQ.FT. (0.35M2) WITH NO DIMENSION LESS THEN 1' - 3" (380MM) AND UNOBSTRUCTED OPEN PORTION, SENTENCE 9.7.1.3.(1) -REQUIRED THERMAL RESISTANCE FOR GLAZING SHALL COMPLY WITH O.B.C. SENTENCE 12.3.2.6.(1)&(2). ARTICLE 9.7.2.1.

WINDOW GUARDS

(O.B.C. ARTICLE 9.7.1.6. AND SUBSECTION 9.8.8.) -A GUARD OR WINDOW WITH A MAX. RESTRICTED OPENING WIDTH OF 4" (100MM) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1' - 7" (480MM) ABOVE FIN. FLOOR. -AND THE DISTANCE FROM THE FIN. FLOOR TO ADJACENT GRADE IS GREATER THAN 5' - 11" (180MM).

PERFORMANCE

(O.B.C. ARTICLE 9.7.5.3.) - WIDOWS SHALL CONFORM TO, a) CAN/CSA-A440, "WINDOWS", AND b) THE CAN/CSA-A440.1, "USER SELECTION GUIDE TO CSA STANDARD CAN/CSA-A440-00 WINDOWS

WINDOW IN EXIT STAIRWAY

(O.B.C. ARTICLE 9.7.5.3.)

-WINDOW IN EXIT STAIRWAY THAT EXTEND TO LESS THAN 3' - 6" (1070MM) SHALL BE PROTECTED BY GUARD (REFER TO WINDOW GUARD NOTE) OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGN TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PER O.B.C. PART 4 ARTICLE 4.1.5.15.

SITE VERIFICATION NOTE:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION ALL SIDE DATA AND SETBACKS WITH BUILDING HEIGHT, UNPROTECTED OPENINGS, ETC. TO COMPLY WITH ALL LOCAL BYLAWS.

DIMENSIONS NOTE:

ALL DIMENSIONS SHOWN ARE BASED ON EXISTING MEASUREMENTS, CAUTION SHOULD BE TAKEN TO VERIFY ALL CRITICAL DIMENSIONS PRIOR TO START OF CONSTRUCTION

MECHANICAL NOTE: CONTRACTOR TO VERIFY THAT EXISTING ELECTRICAL AND MECHANICAL SERVICES ARE ADEQUATE TO CARRY IMPOSED LOADS

SMOKE ALARM NOTE: A SMOKE ALARM SHALL BE LOCATED A MAX. DISTANCE OF 16'-5" FROM A BEDROOM DOOR AND AND A MAX. DISTANCE OF 49'-3" FROM ANY POINT ON A FLOOR LEVEL MEASURED FOLLOWING CORRIDORS AND DOORWAYS AND SHALL BE LOCATED A MIN. 2'-11" ABOVE FINISHED FLOOR AS PER O.B.C. 9.10.18.2

CARBON MONOXIDE DETECTOR NOTE: WHERE A FUEL FIRED APPLIANCE IS INSTALLED OR A GARAGE IS LOCATED WITHIN A SUITE OF RESIDENTIAL OCCUPANCY A CARBON MONOXIDE DETECTOR IS REQUIRED ADJACENT TO EACH SLEEPING AREA IN THE SUITE AND BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AS PER O.B.C. 9.33.4.3

STRUCTURAL SUPPORT NOTE:

CONSULTANT ACCEPTS NO RESPONSIBILITY FOR LOADS IMPOSED BY OTHERS ON THE STRUCTURAL COMPONENTS INDICATED ON THESE DRAWINGS. ALL STRUCTURAL COMPONENTS WHICH ARE TO BE DESIGNED BY OTHERS ARE TO BE SUPPORTED ON A SYSTEM WITH THE APPROPRIATE STRUCTURAL INTEGRITY TO ACCEPT ALL IMPOSED LOADINGS. REFER TO STRUCTURAL OR MANUFACTURERS SHOP DRAWINGS FOR SIZE AND SUPPORT OF ALL COMPONENTS NOT SPECIFICALLY SIZED ON THESE DRAWINGS. NO LOADS SHALL BE IMPOSED ON THE STRUCTURE AS DESIGNED ON THESE DRAWINGS UNLESS CALCULATIONS ARE PROVIDED TO PROVE THE INTEGRITY OF THE PROPOSED STRUCTURAL SYSTEM.

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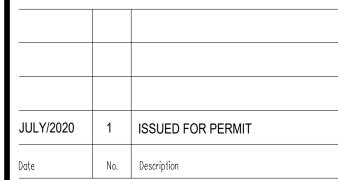
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tructural Consultant:

HVAC Consultant:

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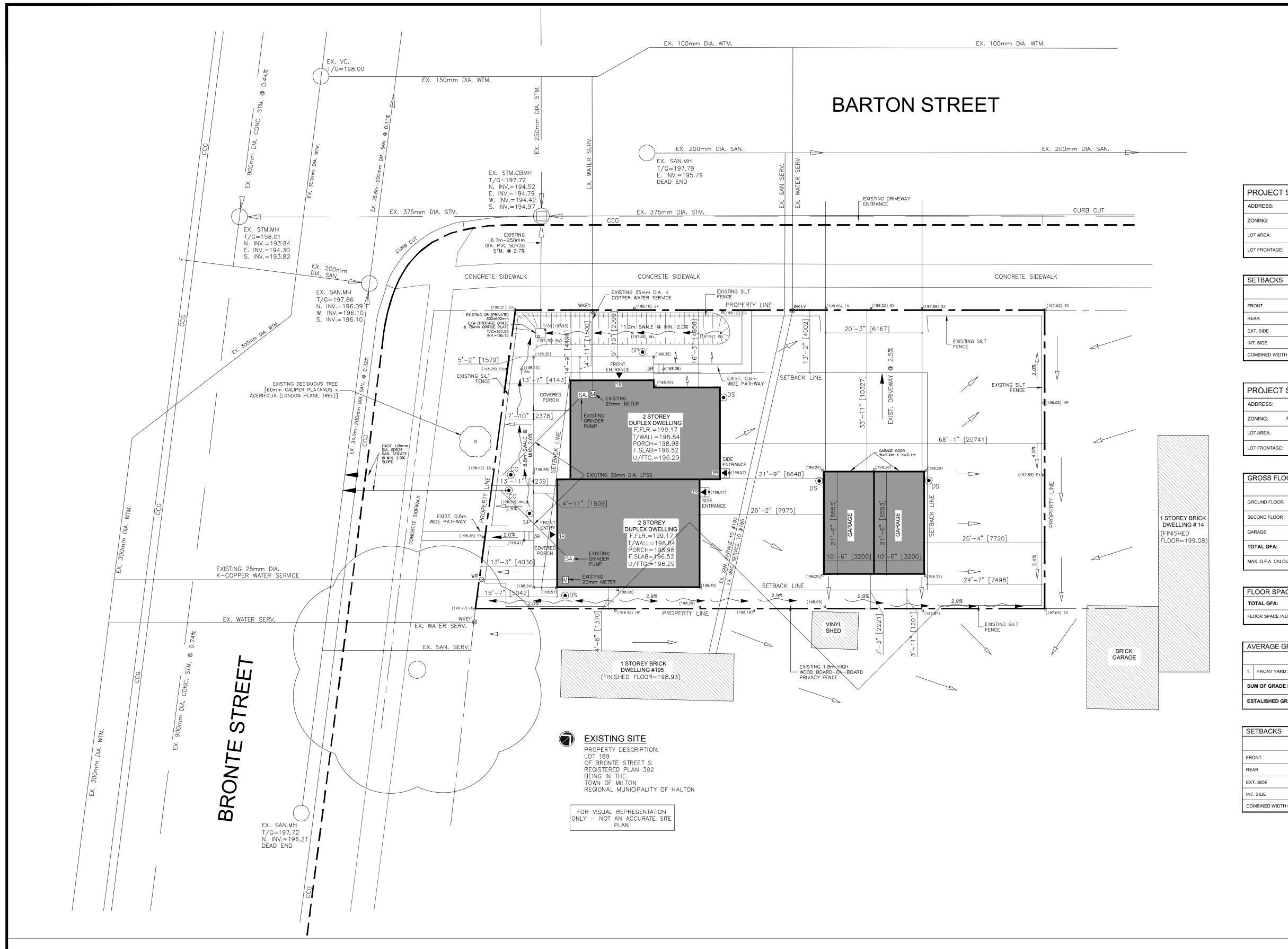
HABITAT FOR HUMANITY INT. RENOVATION AND RAMP ADDITION

8 BARTON STREET MILTON, ONTARIO L9T 1C6

2020-189

Reviewed by

SPECIFICATIONS



PROJECT	STATISTICS:		
ADDRESS:	189 BRONTE STREET S.	MILTON, ON.	L9T 1Z8
ZONING:	RLD ZONE SEMI-DETACHED) RESIDENTIAL	
LOT AREA:	658.60 SM = 7089.11 SF		
LOT FRONTAGE:	49'-2" (15.0 M)		

SETBACKS			
	BY-LAW	EXISTING	PROPOS
FRONT	4.0 M	4.02 M	- M
REAR	7.5 M	20.74 M (OR 7.70 M FROM GARAG	- M F)
EXT. SIDE	4.0 M	4.50 M	- M
INT. SIDE	1.2 M	1.20 M	- M
COMBINED WIDTH OF SIDE YARDS:	N/A	5.70 M	- M

PROJECT STATISTICS:					
ADDRESS:	189 BRONTE STREET S.	MILTON, ON.	L9T 1Z8		
ZONING:	RLD ZONE SEMI-DETACHED	RESIDENTIAL			
LOT AREA:				7089.11 SF = 658.60 SM	
LOT FRONTAGE	:			49'-2" (15.0 M)	

GROSS FLOOR ARE	A		
	EXISTING	PROPOSED	TOTAL
GROUND FLOOR	1,304.4 SF (121.18 SM)	- SF (- SM)	- SF (- SM)
SECOND FLOOR	759.15 SF (70.53 SM)	- SF (- SM)	- SF (- SM)
GARAGE	451.5 SF (41.95 SM)	- SF (- SM)	- SF (- SM)
TOTAL GFA:	2,063.55 SF (191.71 SM)	- SF (- SM)	- SF (- SM)
MAX. G.F.A. CALCULATION:	N/A		

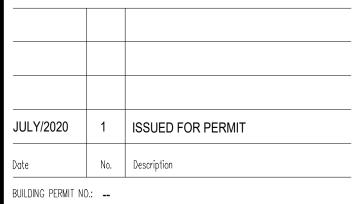
FLOOR SPACE INDEX			
TOTAL GFA:	2,063.55 SF (191.71 SM)	29% OF LOT AREA	
FLOOR SPACE INDEX:	N/A		

		A	В	
1.	FRONT YARD SETBACK (0.1M PAST SIDE LOT LINE)	-	-	
SU	M OF GRADE ELEVATIONS:		-	

SETBACKS				
	BY-LAW	EXISTING	PROPOSED	
FRONT	4.0 M	4.02 M	- M	
REAR	7.5 M	20.74 M (OR 7.70 M FROM GARAG		
EXT. SIDE	4.0 M	4.50 M	- M	
INT. SIDE	1.2 M	1.20 M	- M	
COMBINED WIDTH OF SIDE YARDS:	N/A	5.70 M	- M	

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HABITAT FOR HUMANITY INT. RENOVATION AND RAMP ADDITION

8 BARTON STREET MILTON, ONTARIO

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EXISTING SITE PLAN



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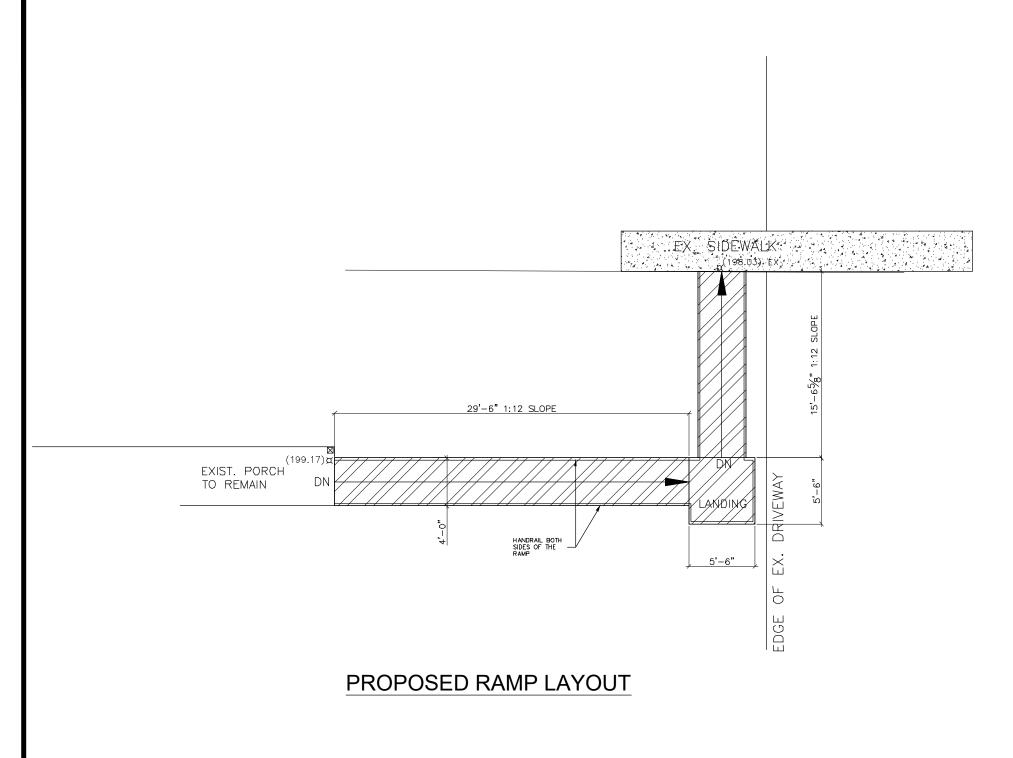
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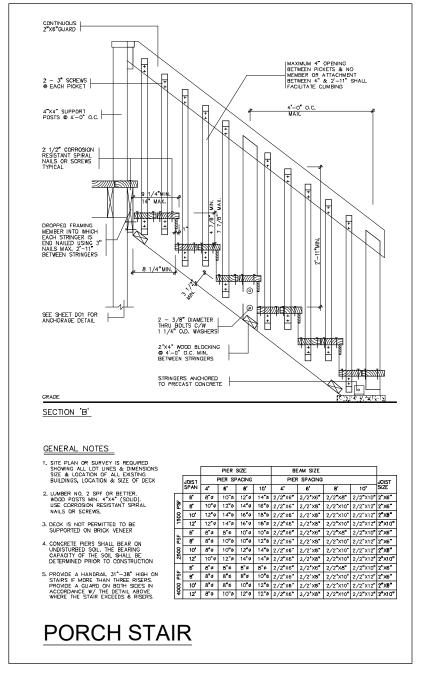
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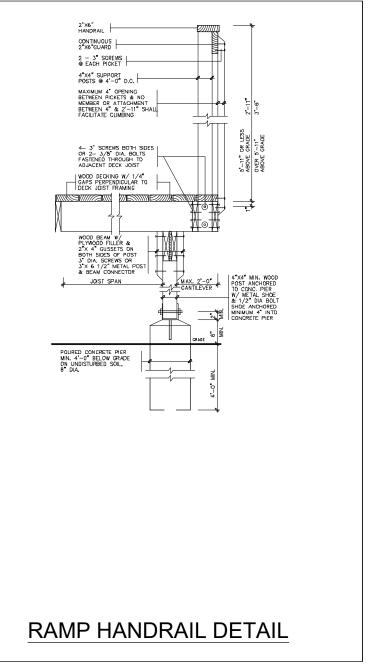
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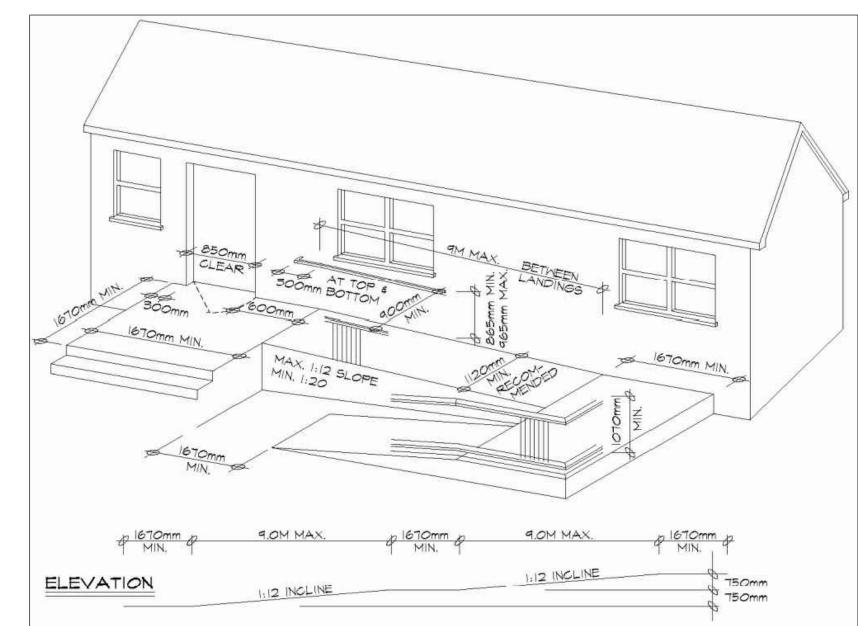
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PROPOSED SITE PLAN

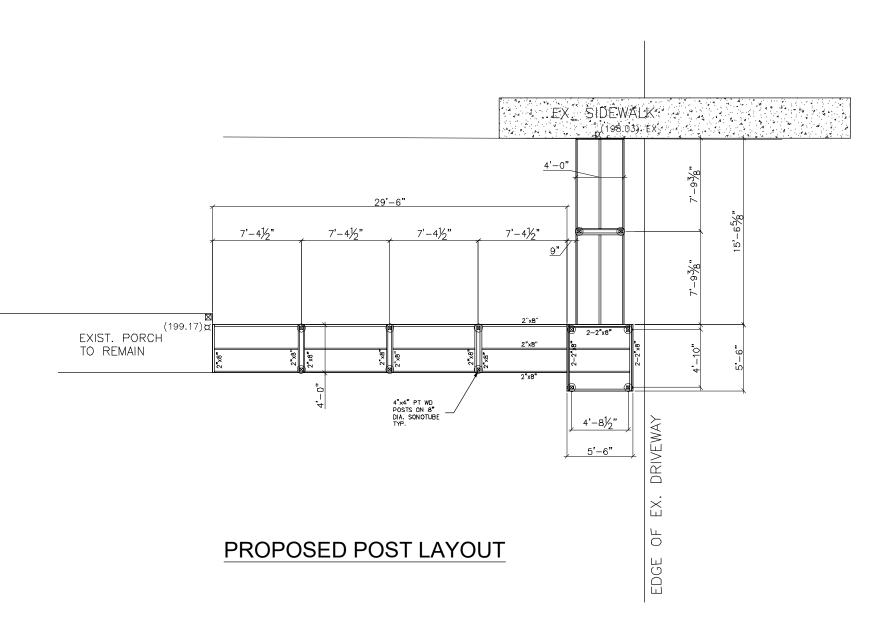


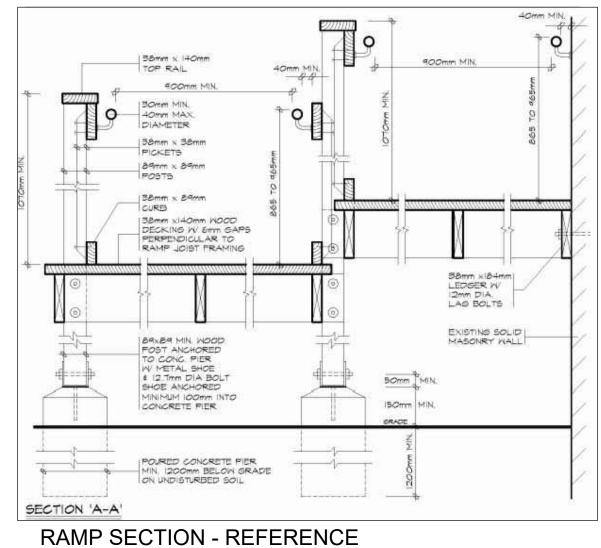


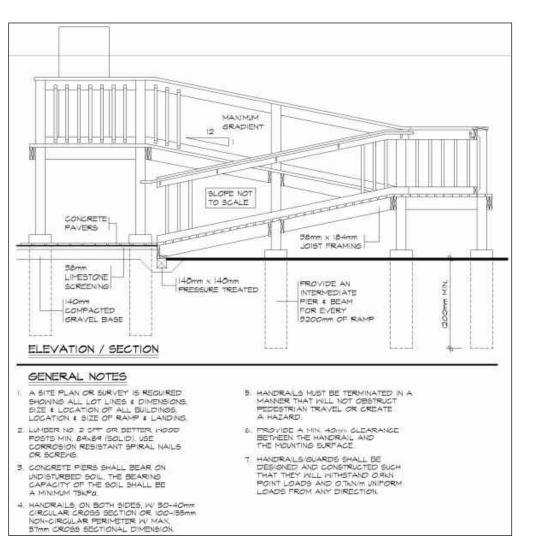




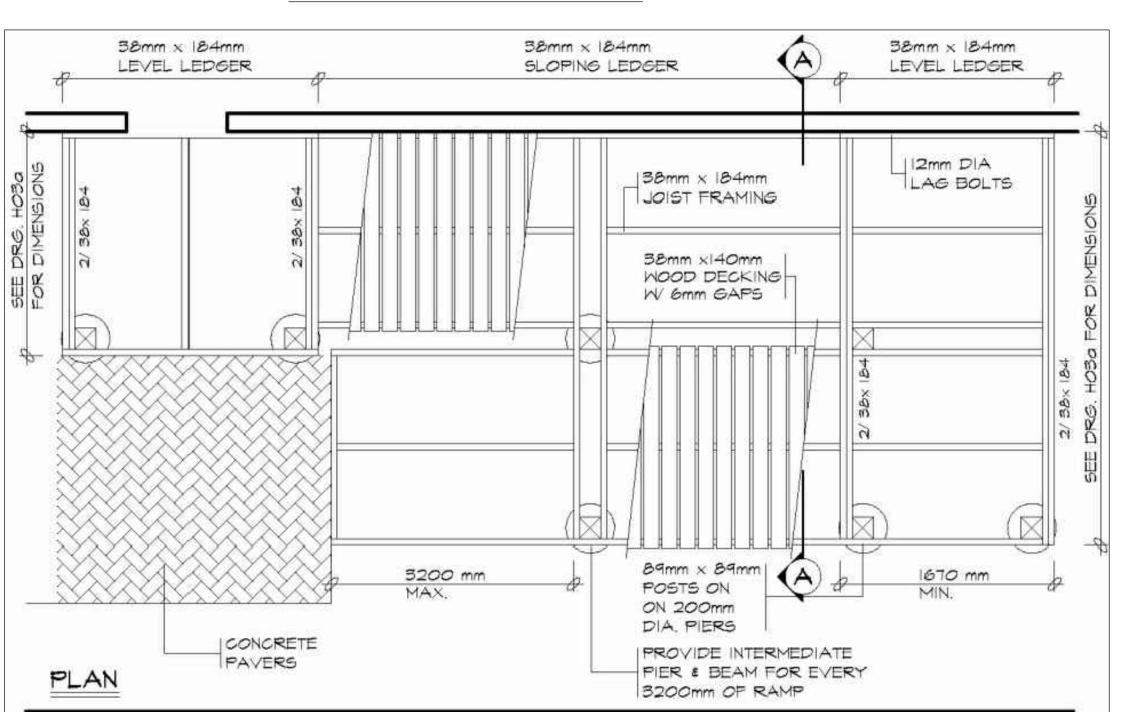
RAMP SPECITIONS - REFERENCE







RAMP SECTION - REFERENCE



RAMP PLAN - REFERENCE

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HALTON-MISSISSAUGA

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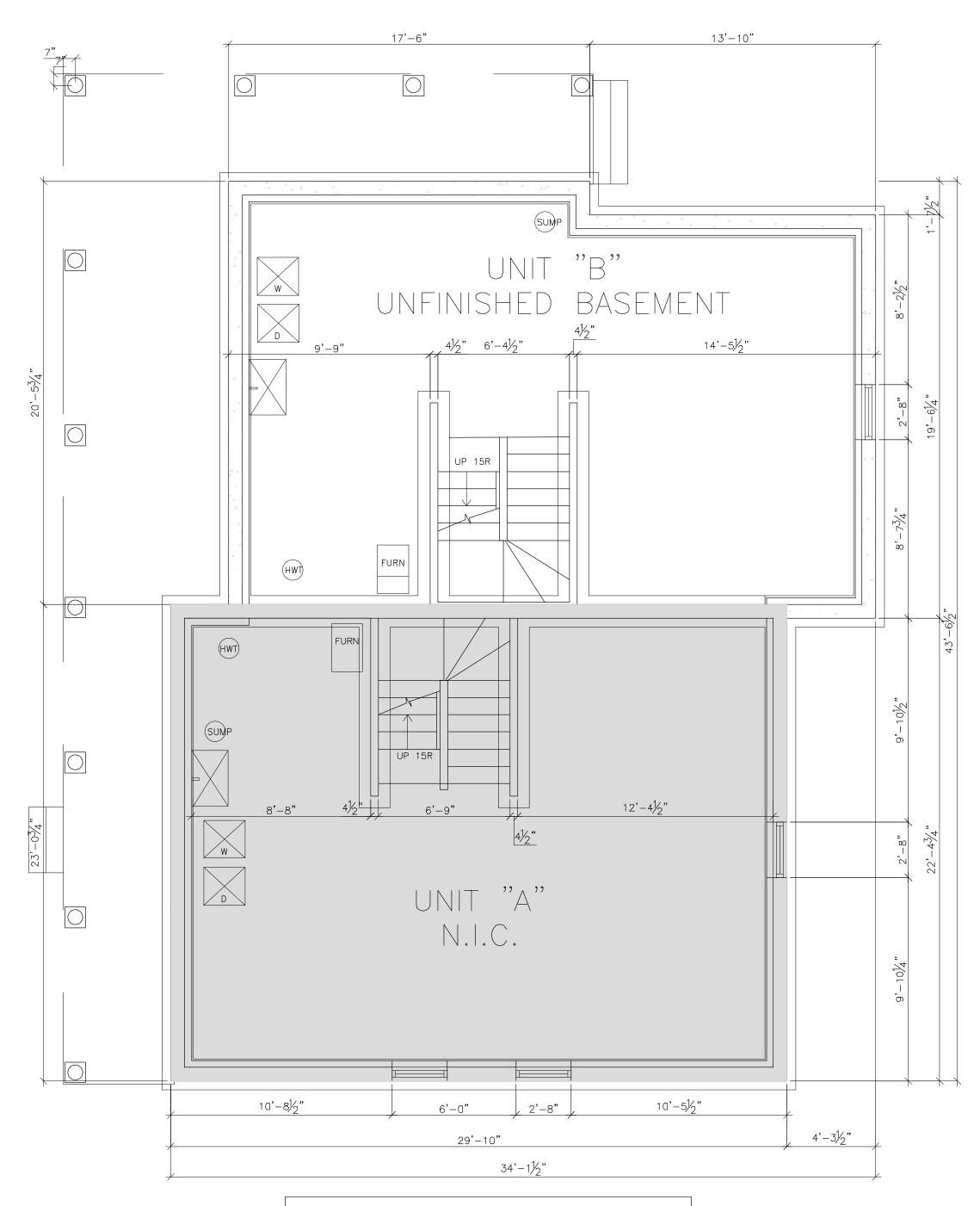
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Project:
HABITAT FOR HUMANITY
INT. RENOVATION AND

RAMP ADDITION
8 BARTON STREET
MILTON, ONTARIO

Title PROPOSED RAMP

A1.2



NOTE: EXISTING
BASEMENT FOR
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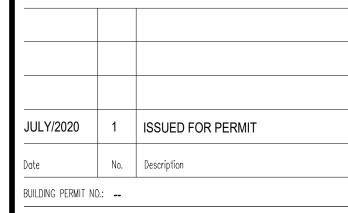
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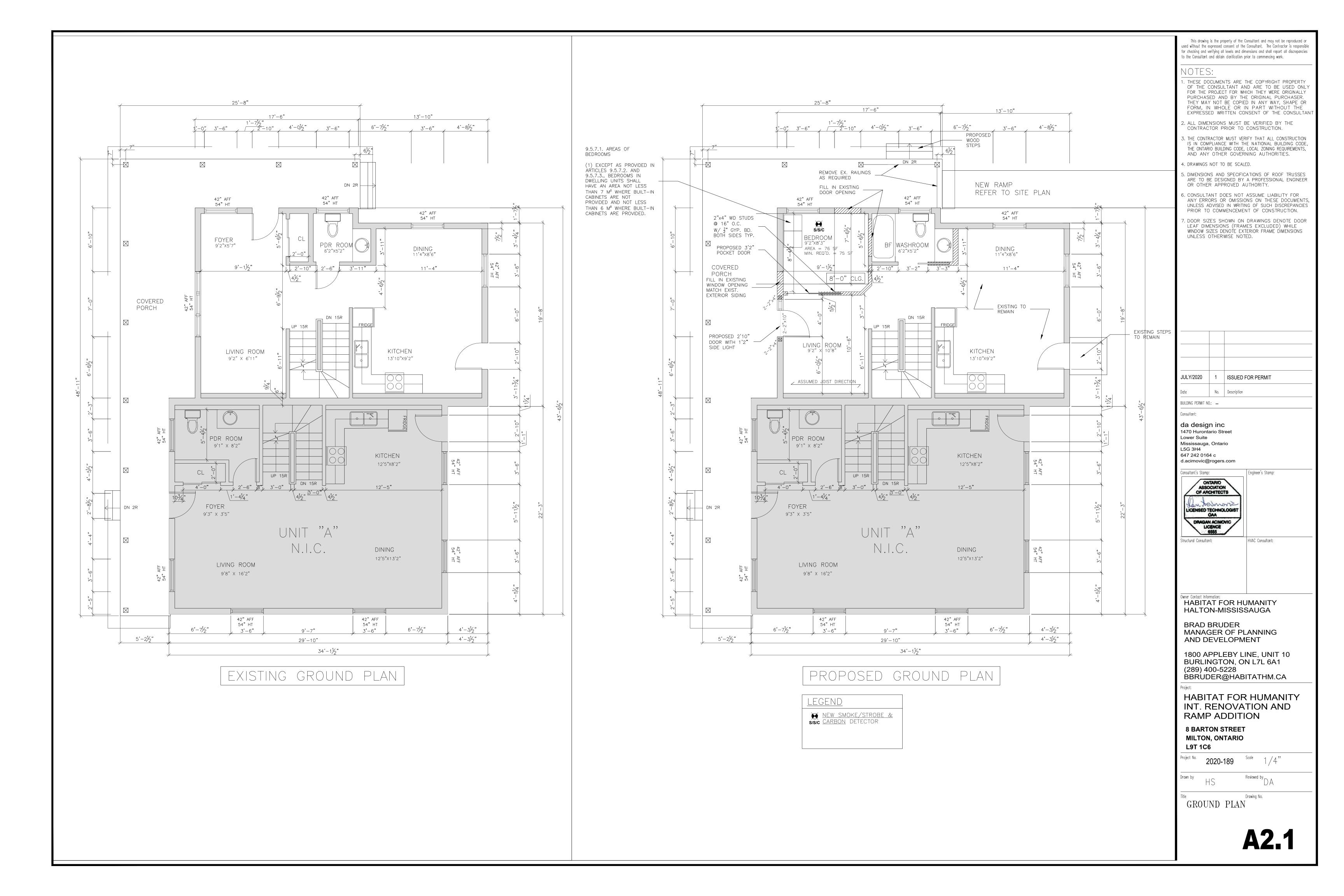
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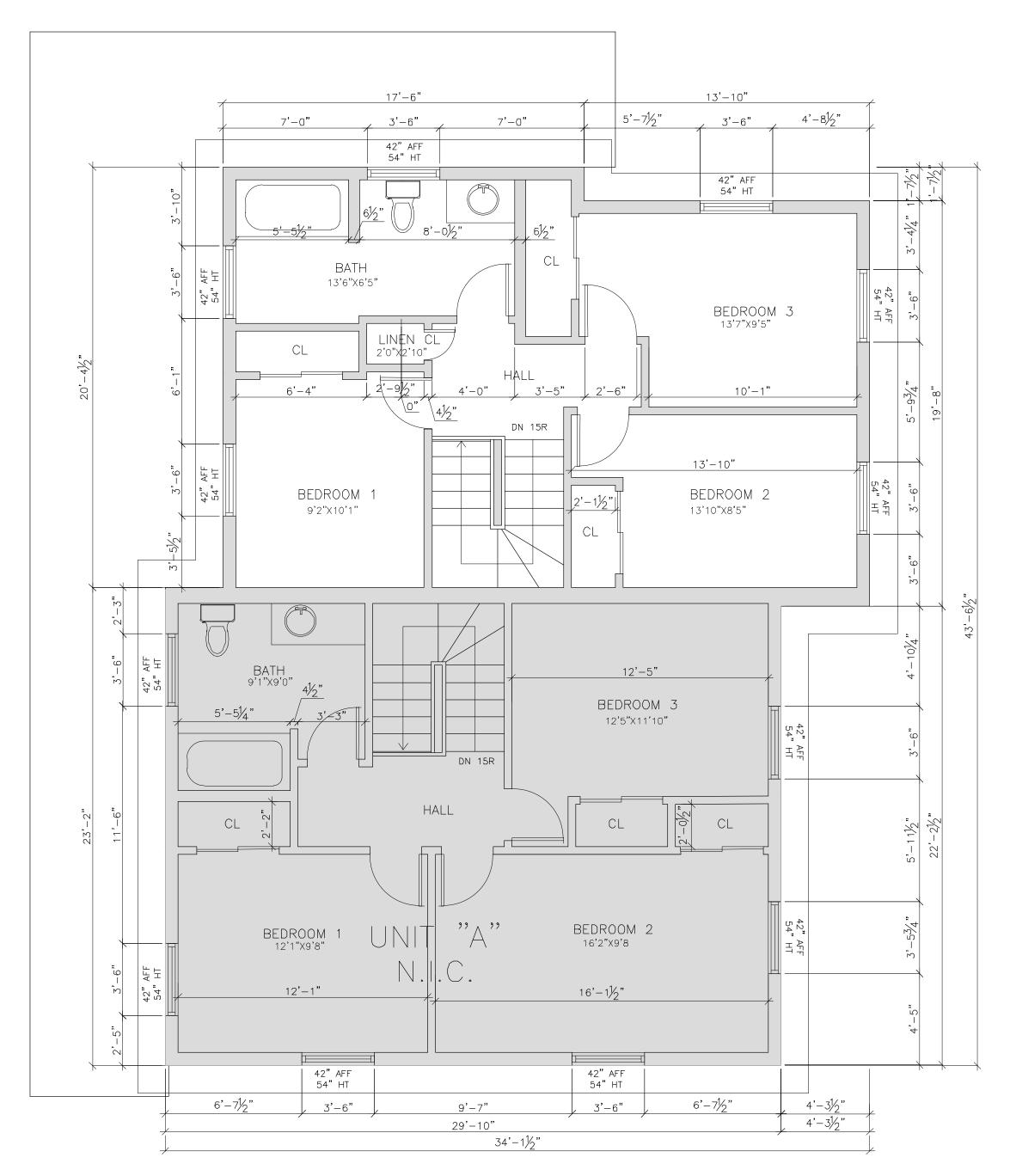
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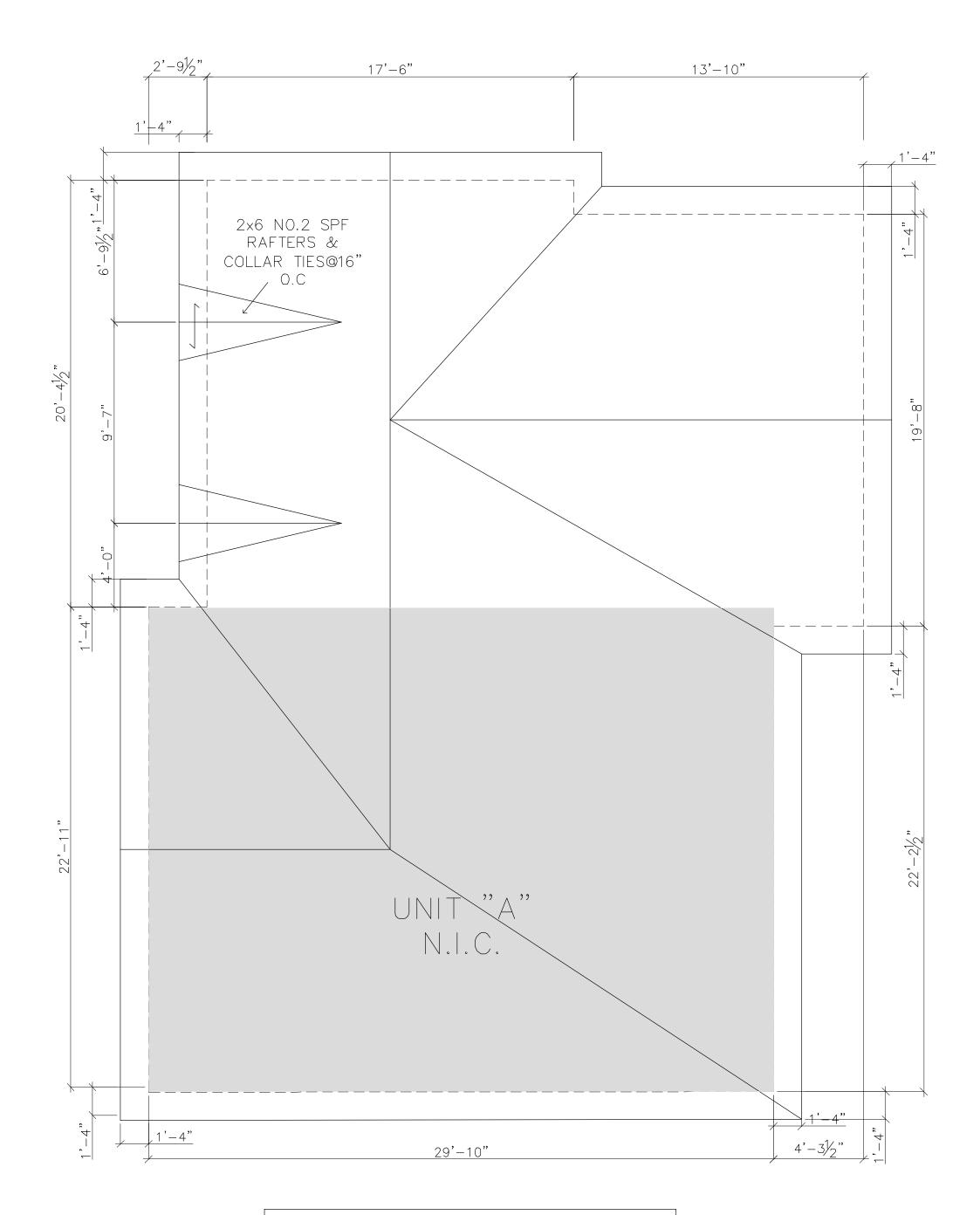
 $\begin{array}{c} \hline \\ \text{Title} \\ \textbf{BASEMENT} \quad PLAN \end{array}$

A2.0





NOTE: EXISTING SECOND FLOOR PLAN FOR REFERENCE ONLY NO CHANGES



NOTE: EXISTING ROOF PLAN FOR REFERENCE ONLY NO CHANGES

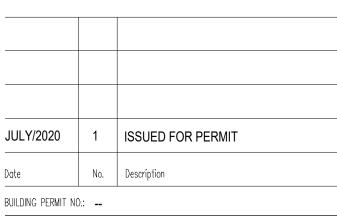
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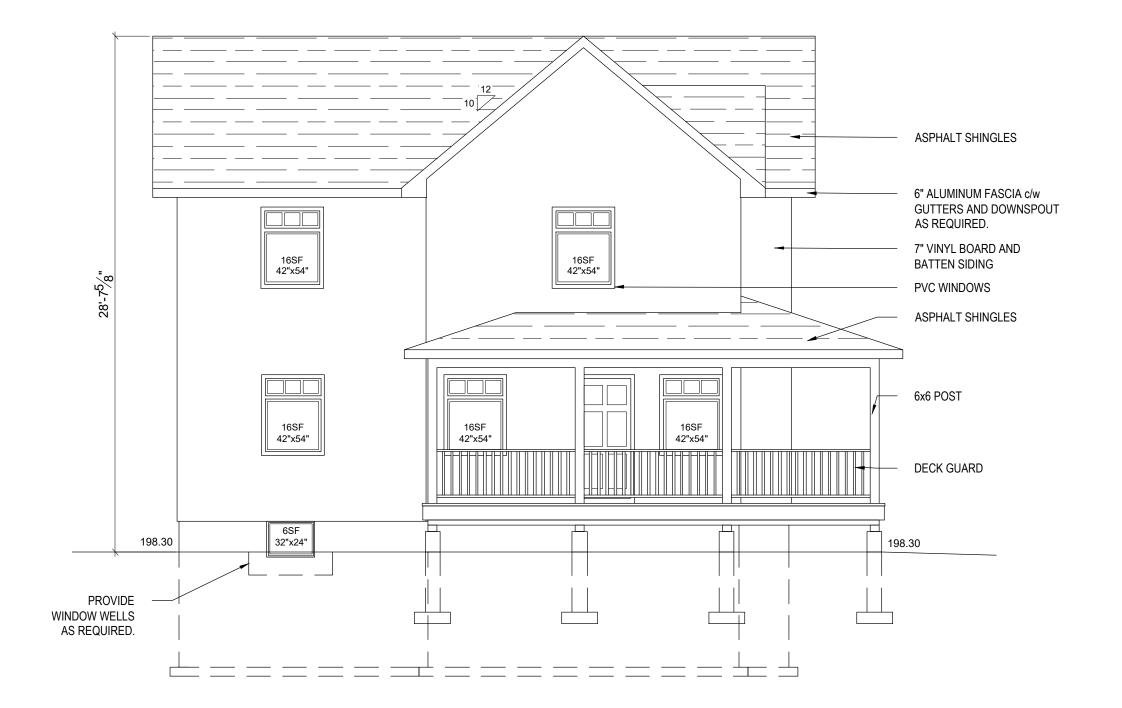
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Title SECOND AND ROOF PLAN

A2.2



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

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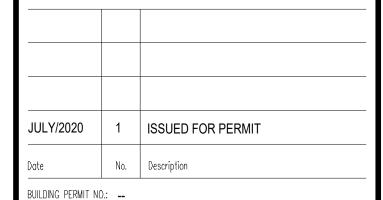
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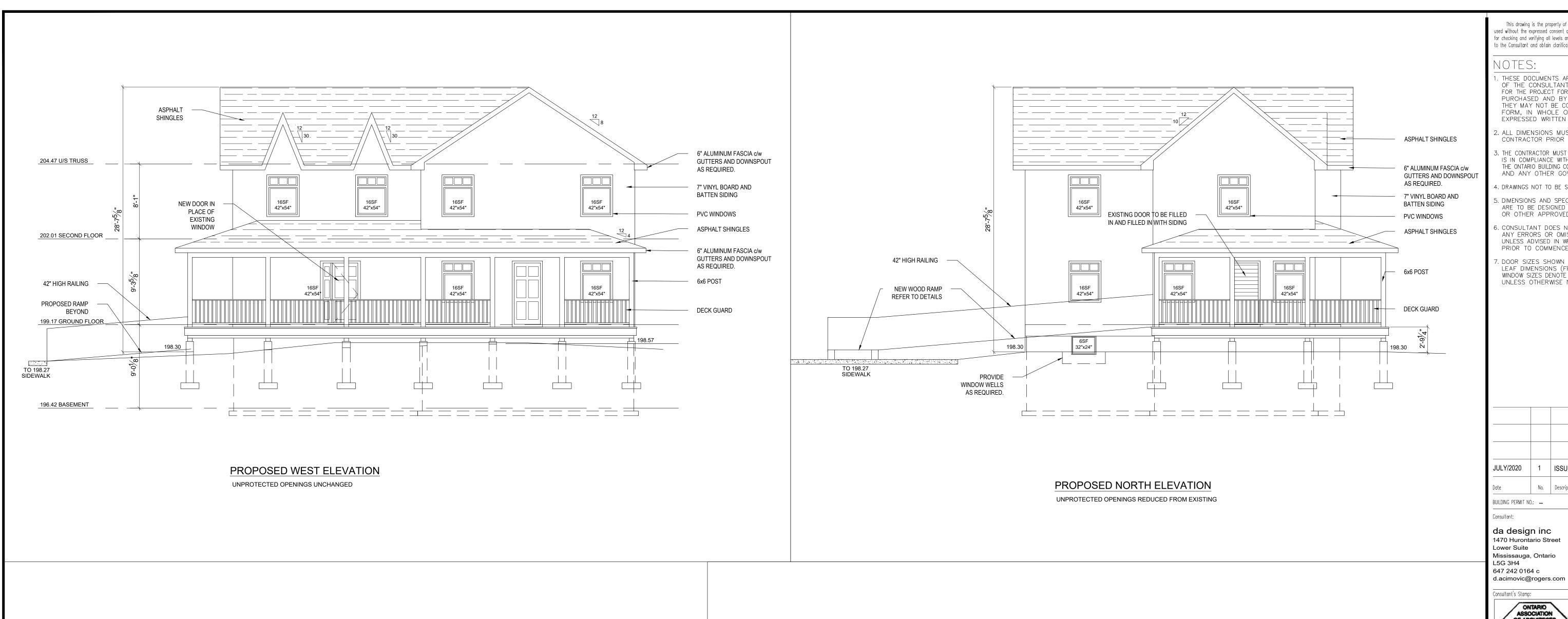
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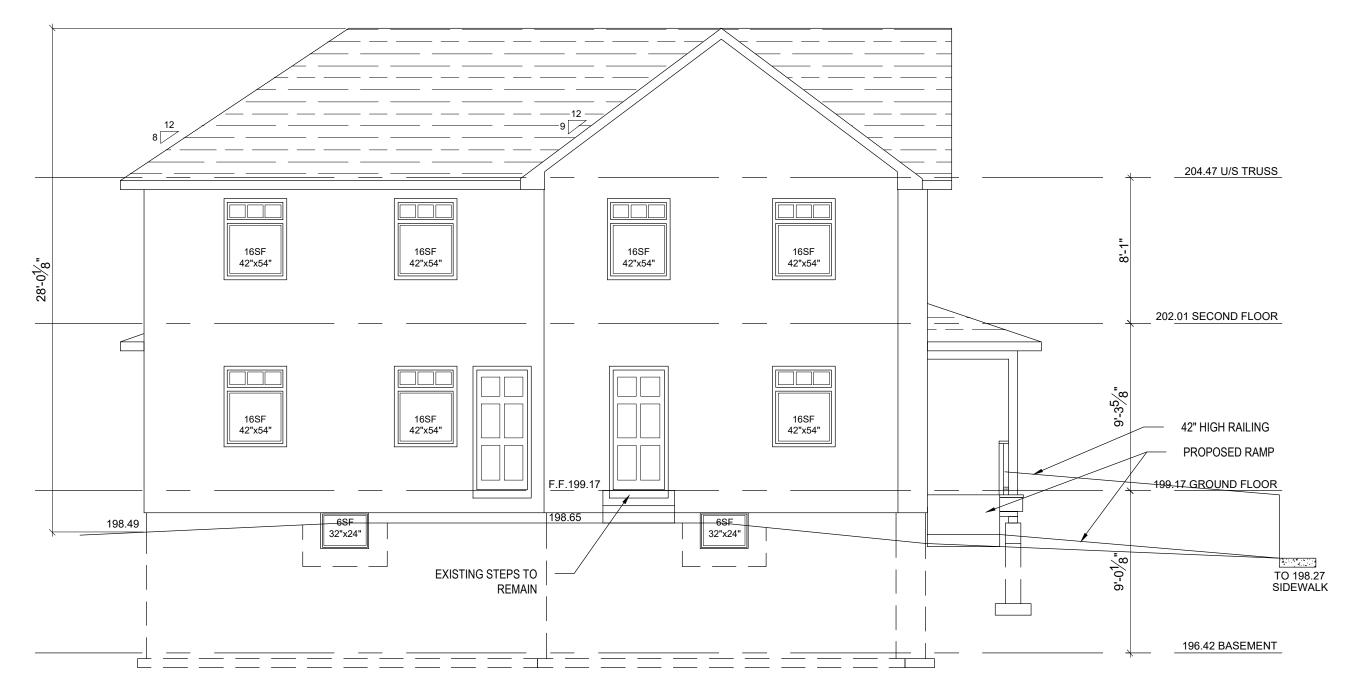
Drawn by Reviewed by D. A.

Title Drawing No.

EXISTING ELEVATIONS

A3.1





PROPOSED EAST ELEVATION UNPROTECTED OPENINGS UNCHANGED

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PROPOSED ELEVATIONS